



1, 56, 87, 482/

6/3/04

Stamp: 12/5/04

DEED OF CONVEYANCE

Handwritten notes: 44388-44386, 250, 130, 40

THIS INDENTURE OF CONVEYANCE made this day 12th of March Two Thousand Four Between ANSUMAN MALLICK, son of Late Aviram Mallik, by faith Hindu, by occupation Business, residing at No. 129, Bidhan Sarani, Kolkata - 700004, hereinafter called the "Vandor" (which expression shall unless excluded by or repugnant to the context be deemed to include his heirs, executors, administrators, representatives) of the ONE PART AND M/s. Godavari Estates Private Limited, a company registered under the Companies Act having office at 22, Strand Road, Kolkata - 700001, hereinafter called the "PURCHASER" (which expression shall unless exclude by or repugnant to the context be deemed to include their heirs, executors, administrators, representatives, assigns and nominees) of the OTHER PART:

WHEREAS one Aviram Mallik son of Raj Bahadur Pramatha Nath Mallik since deceased was the sole and absolute owner of ALL that brick built dwelling house together with place or parcel of revenue free or revenue redeemed land on a part

Stamp: BDI, Cheque No. 895386 dt. 21/9, for Rs. 9169.60 has been paid on 21/9, stamp duty Rs. 41.

Stamp: 21/9/06

Stamp: Defect "A" Fees Rs. 100901.00, dt. 21/9

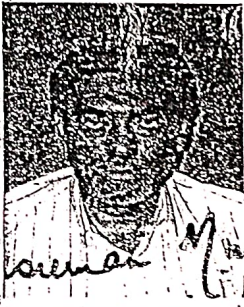
Whereof containing an area of Seven Cottahs Six Chittacks and 10 Sq. Ft. more or less being premises no. 644, Rabindra Sarani, Kolkata - 700003 fully described in the schedule hereunder written and hereinafter called the said premises.

AND WHEREAS by a Deed of Gift dated 11th February, 1970 and registered at the Registrar of Assurances office at Calcutta in Book No. I, Volume 46 at pages 167 to 169 Being No. 611 for the year 1970 the said Aviram Mallick for the consideration mentioned therein granted transferred and conveyed the said premises no. 644, Rabindra Sarani, formerly known as 200/2, Upper Chitpur Road, Kolkata - 700003 to his son Ansuman Mallick for his absolute use enjoyment, by way of Gift unto and in favour of the said Sri Ansuman Mallick the Vendor herein. Subsequently his name has been mutated in the records of Kolkata Municipal Corporation as the owner of premises no. 644, Rabindra Sarani, Kolkata - 700003.

AND WHEREAS the Vendor herein thus became the absolute owner of the said premises no. 644, Rabindra Sarani, Kolkata - 700003 free from all encumbrances.

WHEREAS by an Indenture of Lease dated 26th May, 1978 the said Sri Ansuman Mallick the Vendor herein granted a Lease in respect of the "said premises" being premises no. 644, Rabindra Sarani, Kolkata unto and in favour of M/s. SARVANI INVESTMENTS PRIVATE LIMITED for a term of 9 years commencing from the 1st day of May, 1978 at the monthly Lease Rent of Rs. 80/- (Rupees Eighty Only) per month exclusive of Municipal Taxes (both shares) and on the terms and conditions therein contained.

WHEREAS the said M/s. Sarvani Investments Private Limited granted tenancy in respect of the said premises in favour of several tenants of which Vendor is not aware of. Despite expiry of the period of Lease, the said Sarvani Investments Pvt. Ltd. has continued to hold the premises and has paid up to date rent to the Vendor.



Manoj Kumar Bhowmik

WHEREAS the 'Vendor' above named has represented and assured the 'Purchaser' as follows:

- a) That the "said premises" is free from all encumbrances, mortgages, charges, liens, dispendens, claims, demands, liabilities, acquisitions and alignments whatsoever, save and except the right of the said Sarvani Investments Pvt. Ltd. if any.
- b) The 'Vendor' has not deposited the title deeds and documents in respect of the said premises with any persons or party as security or with intention to create equitable mortgage over and in respect of the said premises.
- c) That the said premises is not affected by the provisions of the Urban Land (Ceiling & Regulation) Act, 1976;
- d) That the Vendor has marketable title and there is no impediment of any nature whatsoever for the Vendor to sell, transfer and convey the said premises in favour of the 'Purchaser', in view of Lease having already expired by the efflux of time.

AND WHEREAS the 'Vendor' has agreed to sell and the 'Purchaser' has agreed to purchase ALL THAT piece or parcel or plot of revenue free land containing by measurement an area of Seven Cottahs and Six Chittacks and 10 Sq. ft. be the same a little more or less together with two storied brick built building – hereditaments, tenements, dwelling house and other structures whatsoever lying erected and/or built thereon situate lying at and being Municipal premises no. 644, Rabindra Sarani, Kolkata morefully described in the Schedule hereunder written, free from all encumbrances whatsoever but subject to the conditions mentioned herein above at or for the total consideration of Rs. 4,00,000/= (Rupees Four Lakhs only) and on the terms and conditions as hereinafter stated.

NOW THIS INDENTURE Of Late WITNESSETH that in pursuance of the representation and in consideration of the said sum of Rs. 4,00,000/= (Rupees Four Lakhs Only) paid by the Purchaser in full and final settlement there under to the Vendor herein at or before the execution of these presents the Vendor doth hereby grant, transfer, sell and convey unto the Purchaser ALL that piece or parcel of land measuring

Seven Cottahs 6 Chittacks and 10 Sq. ft. more or less TOGETHER WITH 50 year old Two Storied brick built building standing thereon lying and situate at and being the premises No. 64, Rabindra Sarani, Kolkata - 700003 fully described in the Schedule on as is whereon basis hereunder written OR WHOSOEVER OTHERWISE the said messuage land hereditaments and premises or any part or portion thereof now are or is at any time heretofore were or was situate butted and bounded called, known, numbered, described and distinguished together with all houses, buildings, compound walls, ditches and fixtures or every area, passages, drains, sewers, waters, water-courses and all and every manner or former or other rights, rights, liberties, privileges, easements, profits, appendages, appurtenances whatsoever to the said land messuage hereditaments and premises or any of them or any part thereof belonging or in anywise appertaining or usually held or enjoyed therewith or reputed to belong or be appurtenant thereto and all deeds, pattahs, muniments and evidences of title writing and other documents solely relating to or concerning the same or any part or portion thereof which now are and hereafter shall or may be in the possession power or control of the Vendor or any other person or persons from whom they or any of them can or may procure the same without action or suit TO HAVE AND TO HOLD the said messuage land hereditaments and premises hereby granted expressed so to be unto and to the use of the Purchaser absolutely and for ever and the Vendor doth hereby covenant with the purchaser in the manner following that is it say that NOTWITHSTANDING any deed, matter or thing by the Vendor done or executed or knowingly suffered to the contrary he the Vendor hath good right, full power and absolute authority to grant, sell and convey the said messuage land hereditaments and premises hereby granted or expressed so to be unto and to the use of the Purchaser in the manner aforesaid as hereby conferred and that the said messuage, land hereditaments tenements and premises are free from all encumbrances subject to however the right if any of Sarvani Investments Pvt. Ltd. and that the Purchaser having agreed to purchase the same shall and may at all times hereafter peaceably and equitably possessed and enjoyed the said messuage land hereditaments, tenements and premises and receive the rents issues and profits thereof upon mutual settlements thereon without any lawful eviction, interruption claim or demand whatsoever from under in trust for them and that free and clear and freely and clearly and absolutely discharged saved harmless and kept indemnified against all estates and encumbrances created by the Vendor or any person or persons claiming

from under or in trust for him and further that the Vendor and all person having or lawfully or equitably claiming any estate or interest in the said hereditaments tenements and premises or any of them shall and will from time to time and at all times hereafter at the request and cost of the Purchaser do and execute or cause to be done and executed all such acts deeds or things whatsoever for further better or more perfectly assuring the said hereditaments as shall or may be reasonably required and or for settlement and /or arrangements in acquiring the property on as is where is basis.

- a) NOW THIS DEED OF CONVEYANCE WITNESSETH further that in consideration of offer of the VENDOR the Purchaser having purchased the property on the assurance and Guarantee of the VENDOR as to protection and indemnity against any possible claim by any co sharer (if any) he the Vendor is discovered to be still alive or by any person or persons through or under him the Vendor doth hereby and hereunder agree to indemnify and at all times to keep indemnified the Purchaser the property accruing on as is, where is basis and his heirs executors administrators and representatives and the state against all such possible claims and / or demands made or any action and proceedings, if any, commenced by any person or persons claiming through or under him in respect of the said property being premises no. 644, Rabindra Sarani, Kolkata - 700003 and also against all costs charges and expenses for defending any such claim action or proceedings for all times to come.
- b) The Vendor doth hereby for themselves covenant with the PURCHASER that not withstanding any act, deed or thing whatsoever by the VENDOR or by any of the predecessors and ancestor in title done or executed knowingly suffered to the contrary he the VENDOR had at all materials times hereto before and now have good, right, full power, absolute authority and indefeasible title to grant, sell, convey, transfer, assign and assure the said property on as is where is basis, hereby granted, sold, conveyed and transferred or expressed or intended so to be unto and to the use of the PURCHASER in the manner he has opted and that the PURCHASER shall and may at all times hereafter peaceably and quietly possess and enjoy the said property and part / parts thereof which he

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may acquire hereunto upon mutual understanding and receive, the rents, issues, and profits thereof without any demand whatsoever from or by the 'VENDOR' or any person or persons lawfully and equitably claiming as aforesaid from under or in trust from them or from or under any of their ancestors and predecessors in title.

THE SCHEDULE ABOVE REFERRED TO

ALL THAT Two storied 80 year old lime and scoria built dwelling house TOGETHER WITH the place or parcel of revenue redeemed land on a part thereof the same is erected and built containing an area of 7 Cottahs 6 chittacks 10 sq.ft. more or less being premises no. 644, Rabindra Sarani, Kolkata - 700003, within Subanatty in the town of Kolkata and bulled and bounded in the manner following that is to say:

ON THE NORTH	:	646, Rabindra Sarani
ON THE EAST	:	By Premises No. 45, Durga Charan Mukherjee Street
ON THE SOUTH	:	By Premises No. 642, Rabindra Sarani,
ON THE WEST	:	By Rabindra Sarani

Nandj Kumar Baul

IN WITNESS WHEREOF the parties hereto set and subscribed their respective hands and seals on the day, month and year First above written.

SIGNED, SEALED AND DELIVERED

By the Vendor at Kolkata in the presence of:

1. Ajit Kumar. Barak
14 - J, Santi Ghosh Street
Bagbazar KOLKATA 700003

Auseman Mullick

VENDOR

Bijoyendra Ganguly
Advocate
10, R.N. Mukherjee Road
Kolkata-700001.

SIGNED AND SEALED

By the Purchaser at Kolkata in the presence of:

Ajit Kumar. Barak
Bijoyendra Ganguly

For GODAVARI ESTATES PVT. LTD.

Manoj Kumar Saha
Director

PURCHASER

Handwritten note:
I drafted by me,
Dr. Ganguly S.R.

RECEIVED of and from the within
named Purchaser the within
mentioned sum of Rs. 4,00,000/-
(Rupees Four Lakhs Only)
being the full consideration money
within expressed to have been paid
by him to me as follows:

Rs. 4,00,000/-

MEMO OF CONSIDERATION

- 1) Received a sum of Rs. 1,75,000/- (Rupees One Lakh Seventy Five Thousand Only) through Banker's Cheque No:077102 on Central Bank Of India dated 22/5/2002. Rs. 1,75,000/-
- 2) Received a sum of Rs. 50,000/- (Rupees Fifty Thousand Only) through Cheque No:918370 on Central Bank Of India dated 28/2/2003. Rs. 50,000/-
- 3) Received a sum of Rs. 50,000/- (Rupees Fifty Thousand Only) through Cheque No:039724 on Central Bank Of India dated 23/9/2003. Rs. 50,000/-
- 4) Received a sum of Rs. 75,000/- (Rupees Seventy Five Thousand Only) through Cheque No:039733 on Central Bank Of India dated 24/12/2003. Rs. 75,000/-

5) Received a sum of Rs. 50,000/- (Rupees Fifty Thousand Only) through Banker's Cheque No 092065 on Central Bank of India dated 12.3.2004 ... Rs. 50,000/-

Total

Rs. 4,00,000/-

(Rupees Four Lakhs only)

Witness:-

1. Agar Kumar. Baral
2. Singendra Ganguli
Advocate.

Ancuman Mullick.

PHOTO

Navej Kumar Bawa

Left Hand	Little Finger	Ring Finger	Middle Finger	Fore Finger	Thumb
Right Hand	Thumb	Fore Finger	Middle Finger	Ring Finger	Little Finger

PHOTO

Ananda Mulla

Left Hand	Little Finger	Ring Finger	Middle Finger	Fore Finger	Thumb
Right Hand	Thumb	Fore Finger	Middle Finger	Ring Finger	Little Finger

PHOTO

Left Hand	Little Finger	Ring Finger	Middle Finger	Fore Finger	Thumb
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PHOTO

Left Hand	Little Finger	Ring Finger	Middle Finger	Fore Finger	Thumb
Right Hand	Thumb	Fore Finger	Middle Finger	Ring Finger	Little Finger

Gautom Kumar Mondal

DESIGNER, PLANNER & ESTIMATOR

B.S., The Kolkata Municipal Corporation
B.S., Rajpur-Sonarpur Municipality

Resl : 18C/7 Kabi Sukanta Road
Santoshpur, Kolkata-700 075

☎ : 24162455 (R)
9831135921 (M)

Of Area Calculation:--

or Area:--

$$\text{-----}38'8'' \times 68'8'' = 2655.147 \text{ Sq.Ft.}$$

$$\text{-----}10'0'' \times 38'8'' \times 0.5 = 193.335 \text{ Sq.Ft.}$$

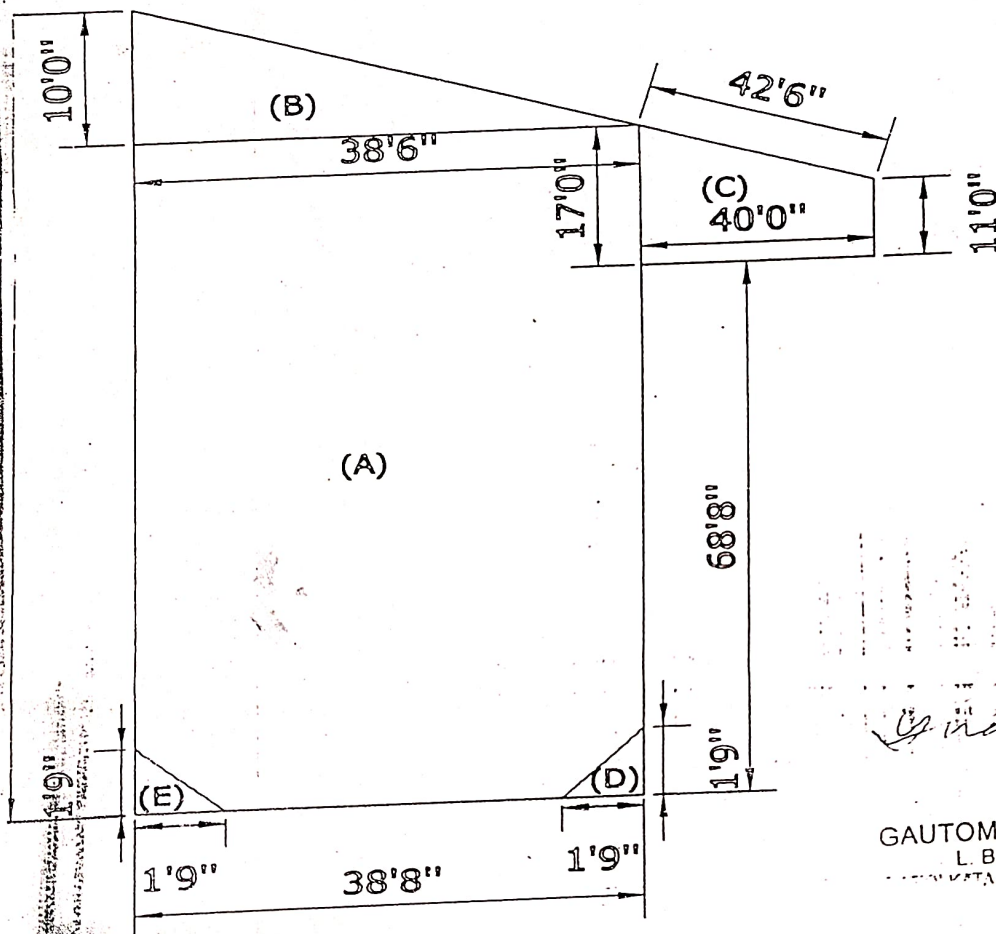
$$\frac{2'6'' + 40'0''}{2} \times \frac{11'0'' \times 17'0''}{2} = 577.500 \text{ Sq.Ft.}$$

$$\text{E) \& (D) } -2 \times 1'9'' \times 1'9'' \times 0.5 = 3.063 \text{ Sq.Ft. Sq.Ft.}$$

$$\underline{3422.919 \text{ Sq.Ft.}}$$

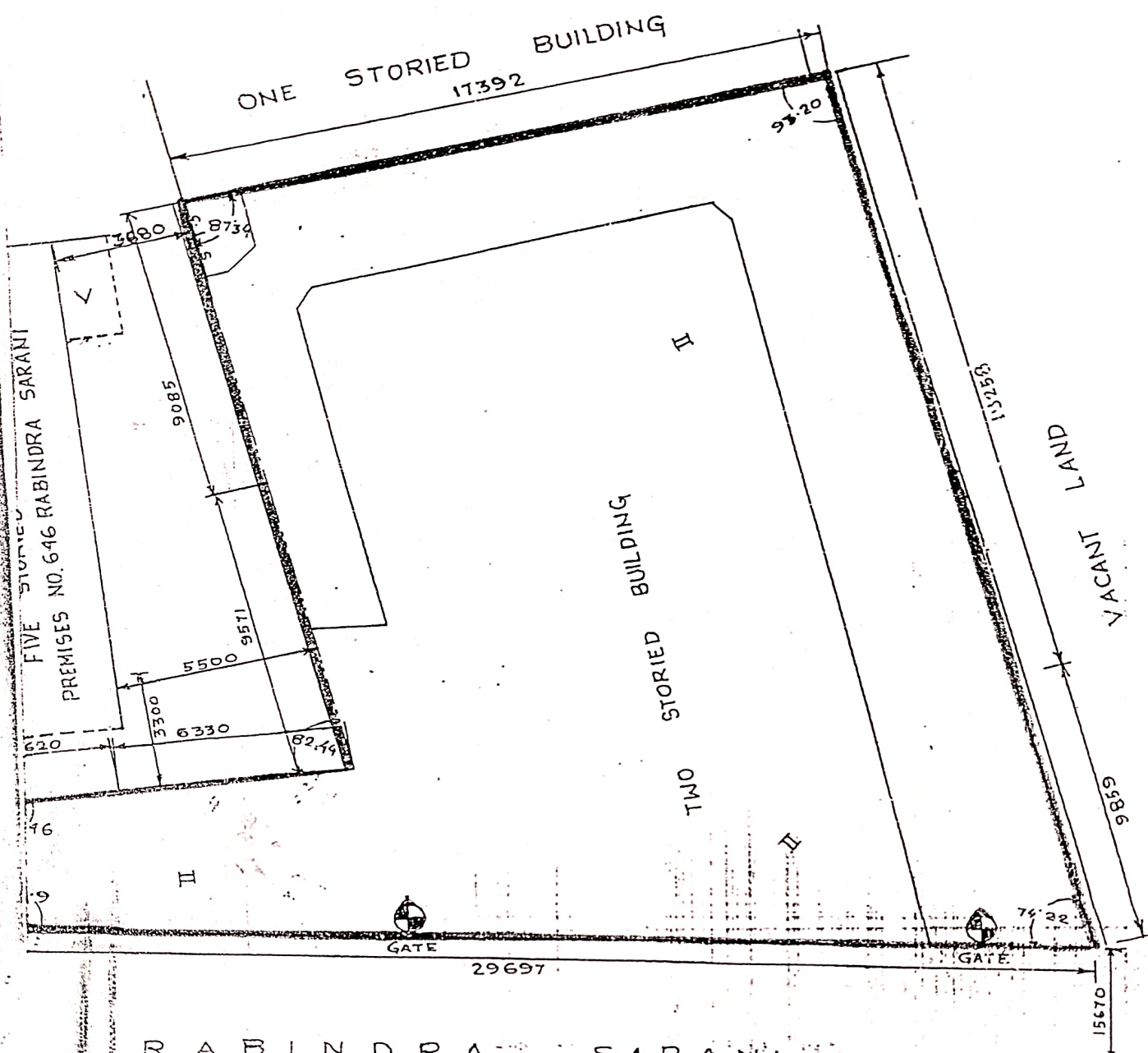
1st floor Area:-- Same as Gr. Floor Area = 3422.919 Sq.Ft.

area of Gr. Floor & 1st. Floor = 3422.919 + 3422.919 = 6845.838 Sq.Ft.



GAUTOM KUMAR MONDAL
L. B. S. NO. 1013(I)
KOLKATA MUNICIPAL CORPORATION

AREA OF THE LAND - 7-K, 8th CH, 105FT = 494.42 SQ.M.



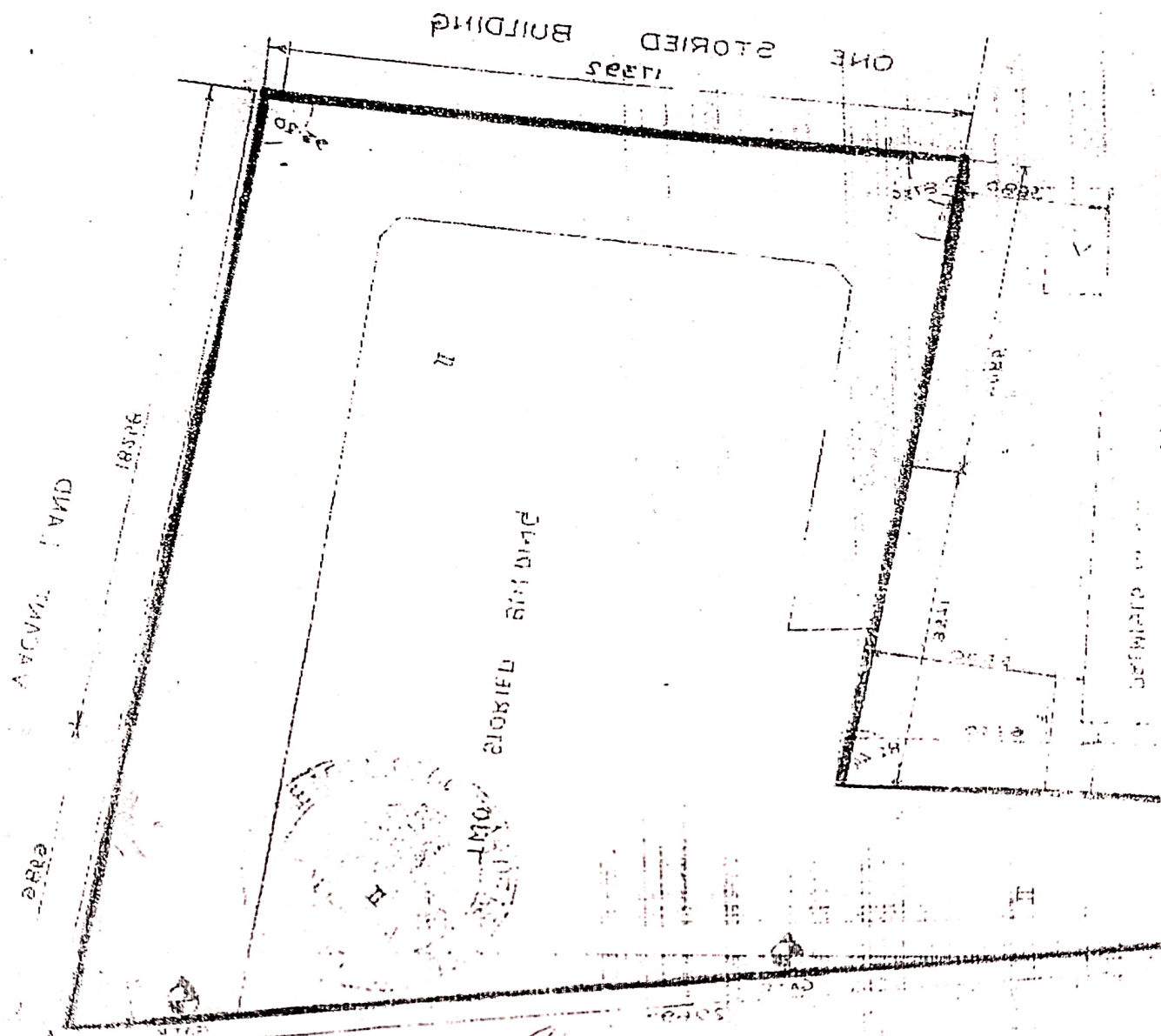
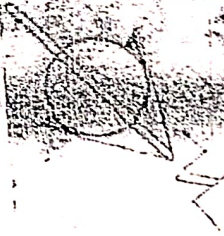
RABINDRA SARANI

BY GODAWARI ESTATES PVT. LTD.

Manoj Kumar Baul

Director

RECEIVED AT THE OFFICE OF THE DISTRICT MAGISTRAR, KOLKATA-700003



RECEIVED AT THE OFFICE OF THE DISTRICT MAGISTRAR, KOLKATA-700003

Handwritten signature
RUBINORA SARANI
KOLKATA-700003

Book No. I
Volume No. 12
Pages 13
Serial No. 09596
For the year 2006

DATED THIS 12th DAY OF March

Between

ANSUMAN MALLICK

And

GODAVARI ESTATES PVT. LTD

DEED OF CONVEYANCE

Handwritten signature
Dist. Registrar of Godavari
25/10/06

Handwritten signature
Dist. Registrar of Anantapur